

# **ALTERNATE ROOFING MATERIALS FOR ACADEMY HEIGHTS, CATONSVILLE**

**March 2023**

**Prepared by Joe Shinault**

Academy Heights last investigated alternate roofing materials during an extensive process in 2015. The focus was on synthetic slate roofing that could continue the aesthetic appearance of the current natural slate roofs and also provide a less expensive alternative. Due to the unusual size of the current natural slate (12"x24"), there were alternatives that provide a similar appearance. Also due to the unproven life of the products and no significant cost savings, the board chose to stay with natural slate only. There was some discussion of architectural asphalt shingles, but that option was not pursued. About a year later, synthetic slates were approved to be used on the few original garages in the neighborhood.

About three years ago a community poll showed that many residents were interested in allowing synthetic slate as a roofing alternative. A brief follow-up was made on the previous research, but found no significant changes or improvements.

This newest investigation attempts to address any cost savings and still keep some aesthetic appeal to the rooftops that Academy Heights has become recognized for.

The synthetic slate options were narrowed to one choice of the highest quality product that will still allow a somewhat uniform appearance of rooftops. The attempt was to stay away from multiple options that would give an extensive patchwork appearance over time.

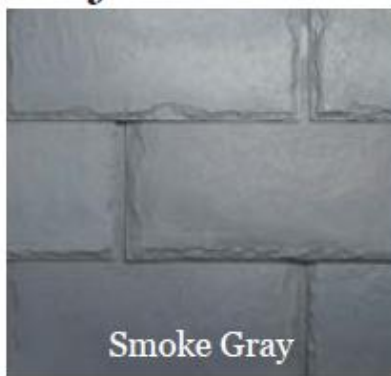
Two similar high grades of asphalt shingles were reviewed to address the cost savings aspect of this research. These architectural shingles give the best duplicated appearance of slate and a warranty up to fifty years, just as the synthetic slate.

## Alternative Roofing Materials for the current 12"x 24" Natural Slate

*These are all approved for use in Rodgers Forge*

**EcoStar Synthetic Majestic Slate** - [https://ecostarllc.com/wp-content/uploads/2017/07/602689\\_Majestic-Slate-Cut-Sheet\\_011419\\_web.pdf](https://ecostarllc.com/wp-content/uploads/2017/07/602689_Majestic-Slate-Cut-Sheet_011419_web.pdf)

The EcoStar Majestic Slate is the only synthetic product that was recommended. They are tried and true synthetic option but you must have a contractor with experience with the product install them or lots of things can go wrong as they are **NOT** the same as installing other shingles. The synthetic tile can most likely be installed directly to the original wood lathe sheathing. The cost is similar to natural slate – maybe 10% -15% less than slate but not a significant difference on a small roof. The real savings on this product shows up on large roofs because it is lighter than slate to handle from the ground to the roof and can also be installed with a nail gun. But these savings don't show up that much on a smaller roof. There is no slate breakage maintenance on synthetic roofs, so that is something to consider as well. Similar to asphalt shingles with maintenance. They are expensive and there are a lot of contractors that don't know how to install them but will try....leading to lots of heartache for the homeowner.



---

**CertainTeed Grand Manor Shingles** - <https://www.certainteed.com/residential-roofing/resources/grand-manor-roof-shingles/>

The CertainTeed Grand Manor shingles are a high end Asphalt Shingle that would up hold the high end look of the neighborhood. Rodgers Forge has approved these and these shingles are on most replacement roofs in their neighborhood..... only allowing **one** shingle style and color. A special underlayment will need to be put into place prior to the shingle installation. Rodgers Forge has allowed a few substitute shingles that are close to the Grand Manor but not an exact match. This creates a non-uniform appearance and the biggest issue is they won't line up at the dividing line between the houses. And then a divider flashing is needed to separate the different types of roofs between neighbors. This adds a large expense to the job.



---

**CertainTeed Belmont Shingle** - <https://www.certainteed.com/residential-roofing/resources/belmont-shingle-roof-stonegate-gray/>

The CertainTeed Belmont Shingles are the one notch down from the CertainTeed Grand Manor. Rodgers Forge has approved these as well. They are 5% less than the Grand Manor. Basically the same shingle just not as thick so it won't last as long.



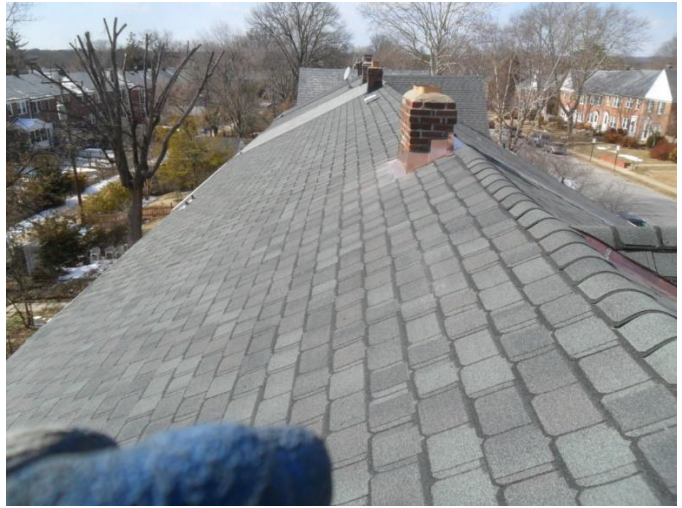
---

The biggest issue when introducing different roof materials is that they won't line up with the old slate between the houses. **A divider flashing (invert tee) must be used.** This requires raking out the slate on the neighbors roof (the one not being replaced), saving the slate as best you can, installing the flashing, and then reinstalling the slate on the neighbor. A lot of the slate may break. Hopefully slate from the old roof being torn off can be save to be used to patch the neighbors in. **See photos below.**

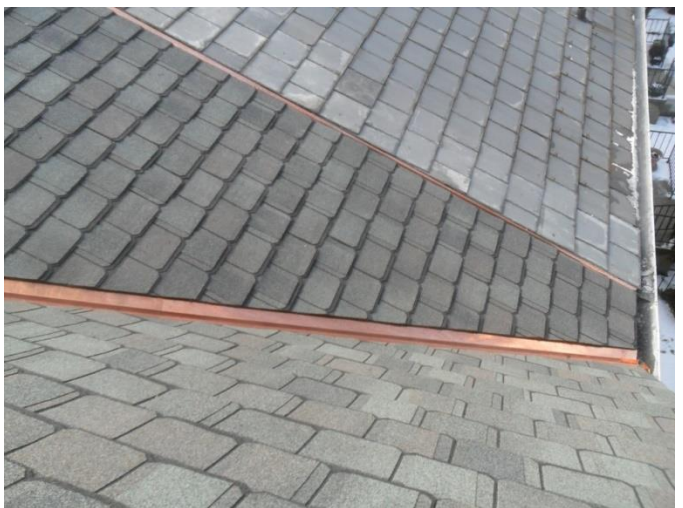
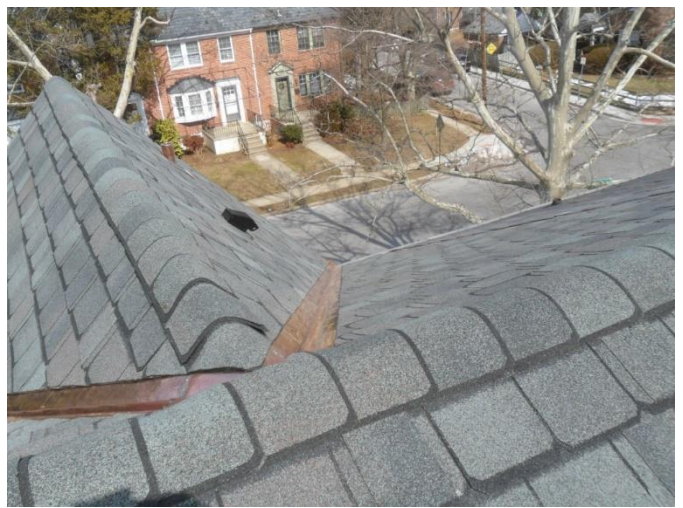
The Grand Manor will be about half the cost of slate for replacement. Belmont Shingles may be a few thousand less than Grand Manor.



## Flashing Divider between Asphalt & Natural Slate









## Flashing Divider between Asphalt & EcoStar Synthetic Slate



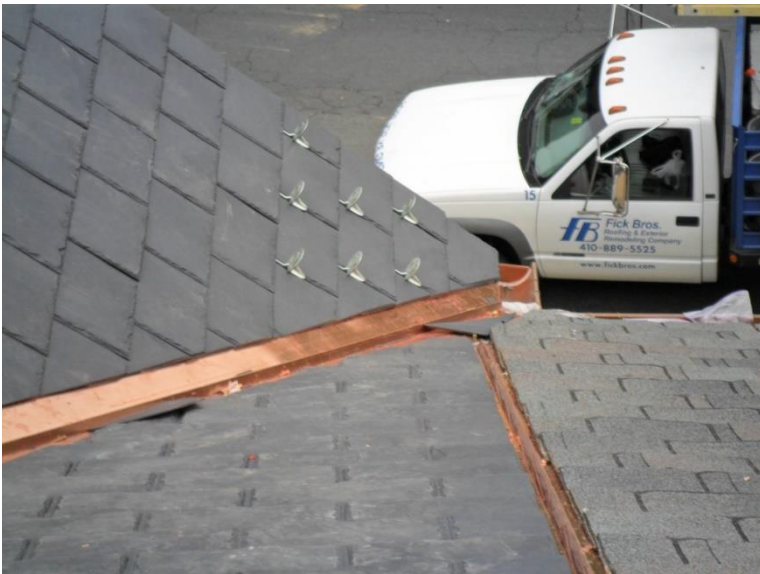






Flashing Divider between Grand Manor Asphalt & EcoStar Synthetic Slate

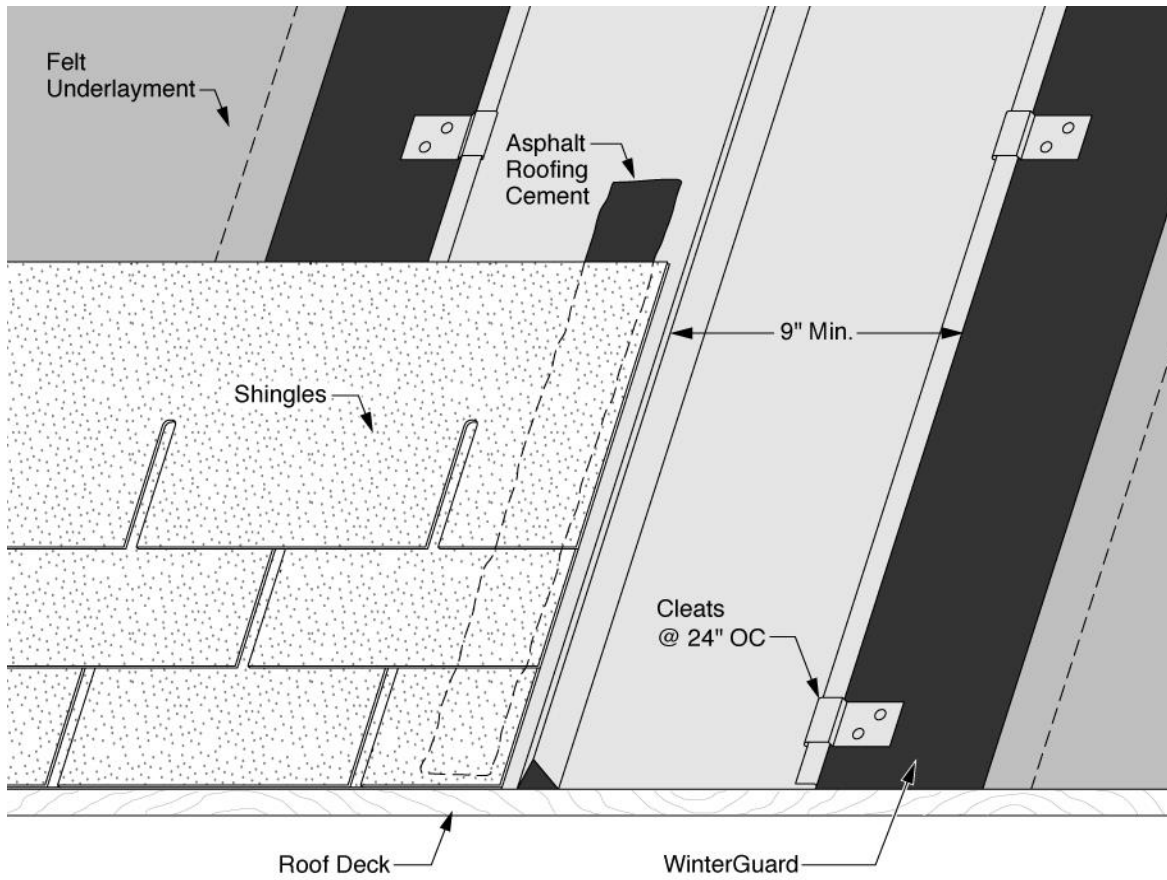






## Detail of Roof Divider Flashing

*This is the detail that is required when joining two different roof styles*



## Rodgers Forge Roofing Guidelines

- Except as specified in this section (see below – bay windows/projection windows), applications are required for all roof replacements and maintenance/repair that impacts greater than 10% of the roof. Maintenance or repair of roofs that affects 10% or less of a roof does not require an application so long as the roofing material matches the existing roof and is replaced in-kind.
- The following are approved roofing materials:
  - Natural slate (to match existing)
  - CertainTeed Symphony (Colonial Gray color)
  - **EcoStar Majestic (Federal Gray color)**
  - **CertainTeed Grand Manor (Colonial Slate color)**
  - GAF Camelot II (Antique Slate color)
  - **CertainTeed Belmont (Colonial Slate color)**
  - Note – Timberline shingles are not permitted
- Flashing and rim of roofing must be one of the following:
  - Natural copper that will patina. Synthetic copper-look material is not permitted.
  - Black or grey to match existing roofing.
- For houses with bay window/projection windows, if the roof is being repaired or replaced, an application to RFCA is required. Replacement materials should match existing color.
- Applications to the RFCA for roofs shall include:
  - Manufacturer and color of roofing material
  - Picture of the roof being replaced
  - Description of the scope of work for roof work



## **Loch Raven Village Roofing Guidelines**

**All roofs in Loch Raven Village must have black or charcoal colored shingles** (Uniformity is key). New “architectural” shingles which mimic asphalt shingle look and coloration will be approved by the BRC.

Any roof being replaced must be done so in a manner that adheres to the professional standards of the roofing industry, including appropriate decking materials and underlayment, nails, flashing where needed and ridge caps. Old roofing shingles **MUST** be removed before new shingles/roof can be installed - no “layering” of new shingles over old. Shingles must come with a minimum 25-year warranty.

Although attic venting is not specified in the Covenants, if you are replacing your roof it is highly recommended that you invest in adequate venting as many warranties on shingles may become invalid without correct venting.

According to the Covenants, many homes in LRV with slate roofs are required to be replaced with slate. However, due to the high cost of slate roofing and the high quality of modern roofing materials, this requirement will be waived by the BRC.

## NOTES

- Most Synthetic Slate cost as much or more than Natural Slate.
- Natural Slate (Vermont or Spanish) can last up to 100 years.
- Some Synthetics & Architectural Asphalt Shingles have a warranty of 50 years.
- Installation of Synthetic is less expensive than Natural Slate. Synthetic Slate is extremely lighter, easier to move and work with, more durable to weight, and can be installed with automatic nailers.
- Synthetic can most likely be installed directly to the original wood lathe sheathing.
- Architectural Asphalt needs to have a special underlayment in place.
- Final cost of Synthetic Slate can be 10% less than Natural Slate.
- Natural slate needs annual maintenance to replace missing/broken tiles (\$100-\$1000)
- Synthetic slate needs no annual maintenance since slates do not break and are not affected by snow or bad weather.
- The aesthetic appearance of all slate roof homes has diminished over the decades. Slate discolours in various ways over time. Over half of the homes have original 70 years roofs which have been patched over time and newer slate roofs from the past 20 years are interspersed amongst the original. There is no longer a uniform appearance color wise of all rooftops.
- Any alternate roofing will require vertical dividers and the horizontal lines of neighboring roofs will not match. This will disrupt the continuous seamless appearance of the all-natural slate roofing.
- Estimate of installation costs for comparison of interior home:  
Natural Slate – \$22,000, Synthetic Slate - \$19,000, Architectural Asphalt - \$15,000

Thanks to:

Rodgers Forge Community Association

Jamie Norwood – Rodgers Forge Secretary & Architect

Patrick Fick – President Fick Brothers Roofing.

Roland Slate Service Co.

Loch Raven Village